

# ROSEWOOD PARK ESTATE PROFILE

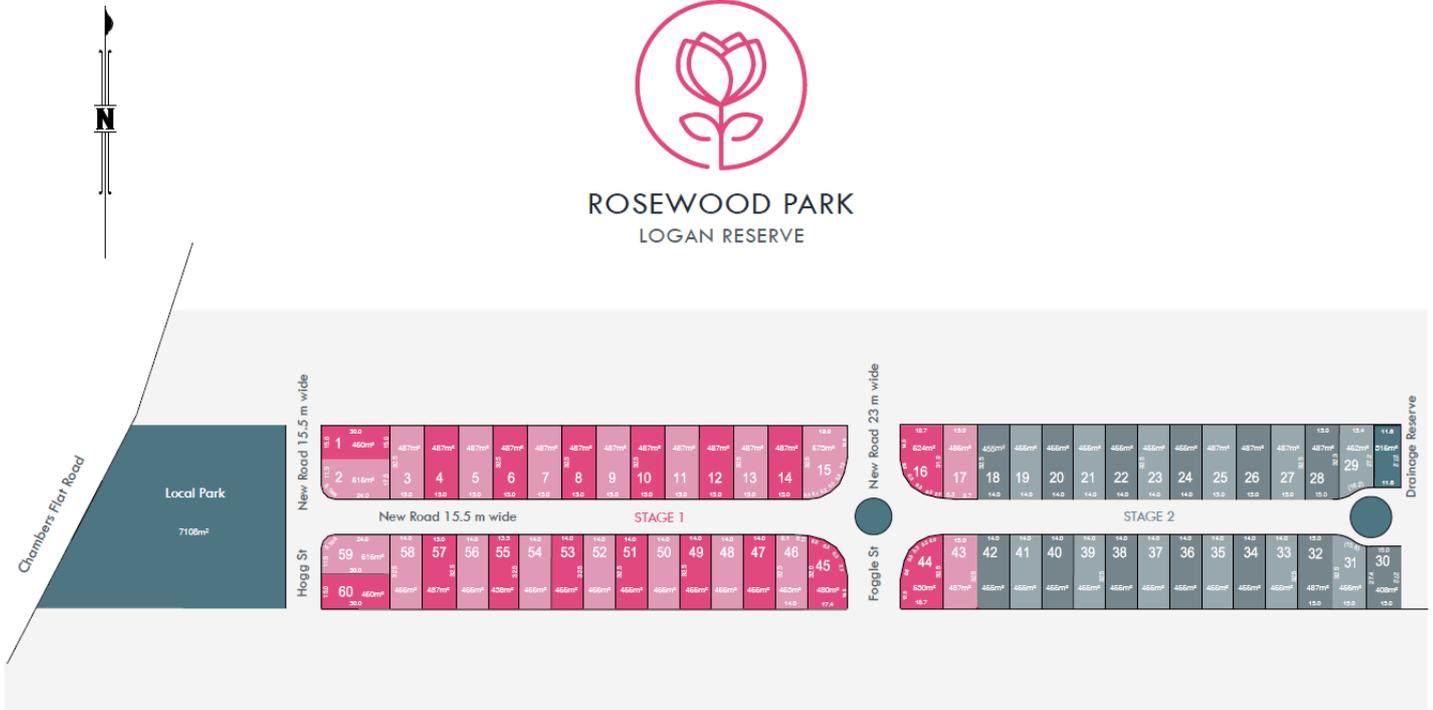


**TORO**  
HOMES

DEDICATED TO BUILDING BETTER



## ROSEWOOD PARK LOGAN RESERVE



All information contained in this document is for marketing purposes only. Specific details pertaining to individual lots is subject to final approval by Logan City Council as per the approved Plan of Development. Toro Homes Pty Ltd accepts no liability for any errors or omissions.

# A ROSY FUTURE LIES AHEAD

Rosewood Park at Logan Reserve can provide the rosy future you have been dreaming of. Close to shops, schools, recreational activities and all amenities, Rosewood park at Logan Reserve will more than exceed the expectations you and your family have.

Just 30 minutes from the Brisbane CBD and 15 minutes to Loganholme, Rosewood Park at Logan Reserve has land for sale to suit every budget.

The estate will feature 61 home sites and is close to major employment hubs, major shopping and dining precincts and has easy access to the Gateway, Pacific and Logan Motorways.

- Surrounded by parks and playgrounds
- Over ten excellent private and public schools

Rosewood Park offers premium positioning and convenience. Enclosed in this guide, you will find key demographics, information on major industries in the area and surrounding region, employment statistics and nearby amenities.



# ABOUT LOGAN CITY

The City of Logan is a major economic destination located in South East Queensland, situated between the City of Brisbane and Gold Coast. Logan - the gateway to Queensland and the Asia Pacific region - covers over 950 square kilometres and has a population of more than 334,358, or 6.5% of Queensland's population.

Looking ahead to the next 20 years, Logan will continue to be one of the fastest growing cities in Queensland.

The population is expected to increase by up to 500,000 within the next 15-20 years and Logan's objective is to create at least 53,000 jobs to support this population growth.

Given its central geographic location and available young workforce, Logan is ideally placed for continued growth in the South East Queensland region.

### **At a glance:**

- City area: 957km<sup>2</sup>
- Average rental return of 5-7% per annum
  - 35 minutes to Brisbane on the M3
  - 50 minutes to the Gold Coast via the M1
- 30 minutes to Brisbane Airport – International and Domestic



## POPULATION / GROWTH

Covering 959 square kilometres, Logan City is home to 334,358\* residents from over 217 nationalities, making it the sixth largest city in Australia and is expected to be one of the fastest growing cities in Queensland; with an expected population of 490,522 by 2036.

Logan and neighbouring Ipswich are predicted to grow more (by percentage) than any other council region in SEQ in the next 20 years. Two of Queensland's Priority Development Areas (Greater Flagstone and Yarrabilba) will be home to 170,000 people in the next 20 to 30 years – slightly less than half of the city's total growth.

A rapidly growing population and host of new developments, makes properties in Logan City attractive to buyers.

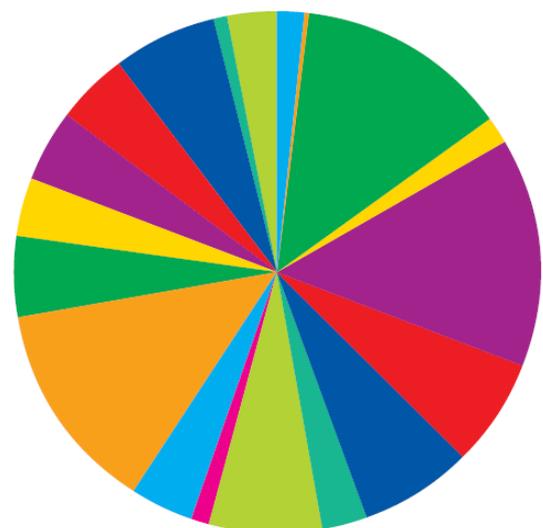
\*Australian Bureau of Statistics, June 2019



# ECONOMY

There are over 22,571 diverse businesses that contribute to the local economy with the top sectors being manufacturing, rental, hiring and real estate services, construction, retail and whole trade which contribute just over 50% of the city's economic output.

**Logan's economy worth is estimated at \$26.018 billion (2016-2017), making it the fourth biggest city in Queensland.**



Agriculture, Forestry and Fishing	17%	Financial and Insurance Services	3.8%
Mining	0.4%	Rental, Hiring and Real Estate Services	13.2%
Manufacturing	13.0%	Professional, Scientific and Technical Services	4.8%
Electricity, Gas, Water and Waste Services	17%	Administrative and Support Services	3.7%
Construction	14.3%	Public Administration and Safety	4.4%
Wholesale Trade	6.6%	Education and Training	4.5%
Retail Trade	6.9%	Health Care and Social Assistance	6.4%
Accommodation and Food Services	2.8%	Arts and Recreation Services	0.7%
Transport, Postal and Warehousing	6.7%	Other Services	3.0%
Information Media and Telecommunications	1.3%	<b>Total Industries</b>	<b>100%</b>

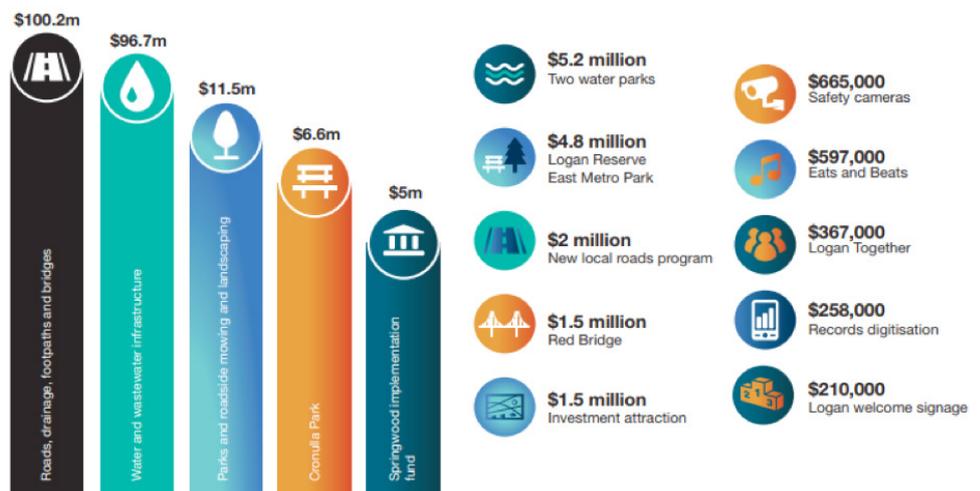
# INFRASTRUCTURE / DEVELOPMENT

With major developments underway across various projects, there's never been a more exciting time to invest in Logan City.

- Funded by the Queensland Government at an estimated \$280 million, the Logan Hospital Expansion Project will provide additional treatment spaces and beds with the aim of ensuring hospital facilities maintain the high quality of care provided by staff. Factors driving this project include a growing and ageing population and a disproportionate demand for emergency services.
- The Logan Enhancement Project sees \$512 million committed to widening sections of the Logan and Gateway Extension motorways, improving key congestion hot spots and constructing new south-facing on and off ramps on the Gateway Extension Motorway at Compton Road. This project will not only deliver a safer and more efficient motorway network but will also support 1300 direct jobs during construction and generate around \$1.2 billion in economic benefits.
- Butter Factory - The redeveloped Kingston Butter Factory Precinct will become the new home of large-scale entertainment in Logan in 2020. The space will become the City of Logan's largest outdoor venue, with a permanent stage and capacity for 5000 people. It will be positioned to attract national and international touring acts, as well as festivals, markets and signature local events.
- Other key projects identified for Logan Central include a shared pathway and promenade from Wembley Road to Logan Gardens, connecting to the upcoming waterpark, free WI-FI to Logan Gardens and a Streetscape Masterplan for the Croydon Road Precinct.

With Logan City's population forecast to grow to 500,000 people over the next two decades, the constant development of the city reinforces council's ongoing commitment towards a thriving economy that values knowledge, innovation, business confidence, lifestyle and job growth.

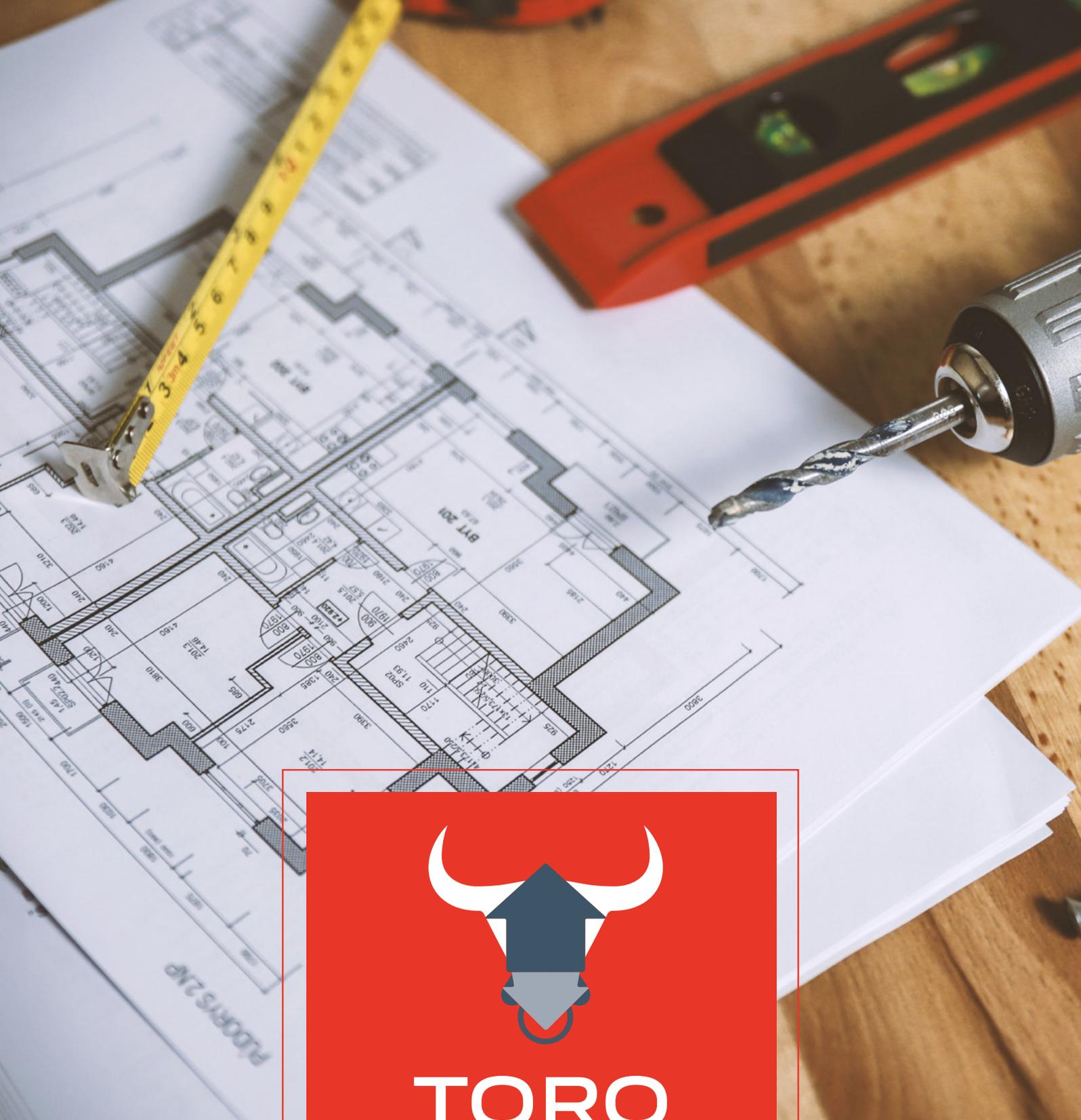
## KEY PROJECTS AND INITIATIVES





## TRANSPORT

- Three major highways pass through the city; Pacific Motorway (linking Brisbane and the Gold Coast), Mount Lindesay Highway (linking Brisbane and Beaudesert), Logan Motorway (linking Logan and Ipswich).
- Direct access to two international airports; Brisbane and the Gold Coast.
- Bus services are provided by Logan City Bus Service and Park Ridge Transit.
- Queensland Rail offers a train service between Brisbane and Logan as well as between Gold Coast and Logan.



Toro Homes Group of Companies | Toro Homes Pty Ltd  
ABN. 94 610 342 893 | QBCC. 15010031 | NSW Lic. 338075C  
Toro Homes Projects Pty Ltd | ABN. 77 631 281 706  
QBCC. 15120441 | 1300 79 49 73  
admin@torohomes.com.au | www.torohomes.com.au  
PO Box 7123 Hemmant QLD 4174